

LEGEND

- 200MM DINCEL WALL
- 250MM BRICK VENEER CONSTRUCTION
- 270MM DOUBLE BRICK CONSTRUCTION
- 110MM SINGLE BRICK CONSTRUCTION
- 110MM STUD WALL
- 200MM BLOCK WALL CONSTRUCTION

EX XXXX EXISTING NATURAL GROUND LEVELS

30 SET DOWN IN BATHROOMS

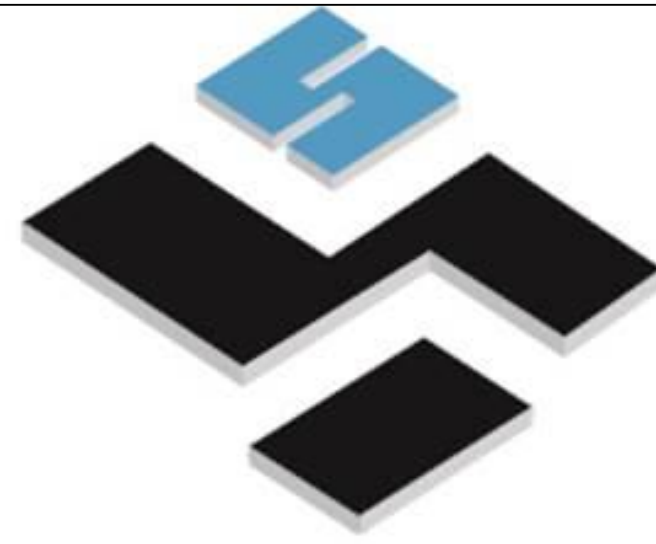
XXXX SSL - STRUCTURAL SLAB LEVEL

EXISTING STRUCTURES TO BE DEMOLISHED.

GENERAL NOTES:

- Written dimensions to take precedence over scale.
- Builder to verify all boundary clearances and site set out dimensions prior to commencement of construction.
- Levels and contours are based on supplied datum, prior to construction the relevant authority should be contacted for possible minimum floor level requirements and flood information.
- All works to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Electricity and Water Authorities concerned.
- All structural work and site drainage to be subject to the Engineers details or certification where required by Council.
- Articulation joints in masonry to be provided as per Engineers Details and/or in accordance with BCA clause 3.1.1.8.
- Retaining walls are required to be engineer designed and certified where required.
- All plumbing works to be strictly in accordance with A.S. 3500 and approved by relevant authorities.
- All drawings are to be read in conjunction with the Engineer's Structural Drawings.
- All windows and glazing to comply with A.S. 1288 & A.S. 2047.
- Batters to comply with appropriate soil classification described in Table 3.1.1.1 BCA Vol 2
- Engineer to provide design to address loadings if built in close proximity to sewer, stormwater easements.
- Vehicle crossover to be constructed as per Council requirements.
- Articulated joints in accordance with BCA 3.3.1.5 (Vol2)
- Ventilation to be to be an exhaust fan in accordance with BCA-14.5 & As-1668.2
- Provide cold water connection & go to dishwasher space
- Hotwater system to comply with A.S.3500
- Downpipes to be a maximum 12m spacing and adjacent to valley intersections
- Drainage to be in accordance with part 3 of the BCA, point of discharge to meet local authority requirement

PLATFORM 5
DESIGN



16 RAILWAY PARADE, BURWOOD, NSW, SYDNEY - 2134-

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PROJECT TITLE

21 EDGAR STREET, YAGOONA - NSW - 2199

CLIENT

VISCONA DEVELOPMENT GROUP PTY LTD

REV	DESCRIPTION	DATE
A	ISSUE FOR INFORMATION	14/06/2022
B	ISSUE FOR CONSULTANTS	15/06/2022
C	ISSUE FOR DA SUBMISSION	30/07/2022

DRAWING TITLE:	PROJECT NUMBER:
SITE PLAN	22-025

DRAWING NUMBER: **DA1002**

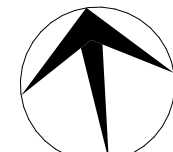
DATE OF ISSUE: **30/07/2022**

SCALE: **AS SHOWN**

DEVELOPMENT APPLICATION

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SITE PLAN
SCALE 1:100



0007924100 28 Jul 2022

Assessor Shafee Hassan

Accreditation No. DMV19/1938

Address

Lot A , 21 EDGAR STREET ,
YAGOONA , NSW , 2199



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0007924090 28 Jul 2022

Assessor Shafee Hassan

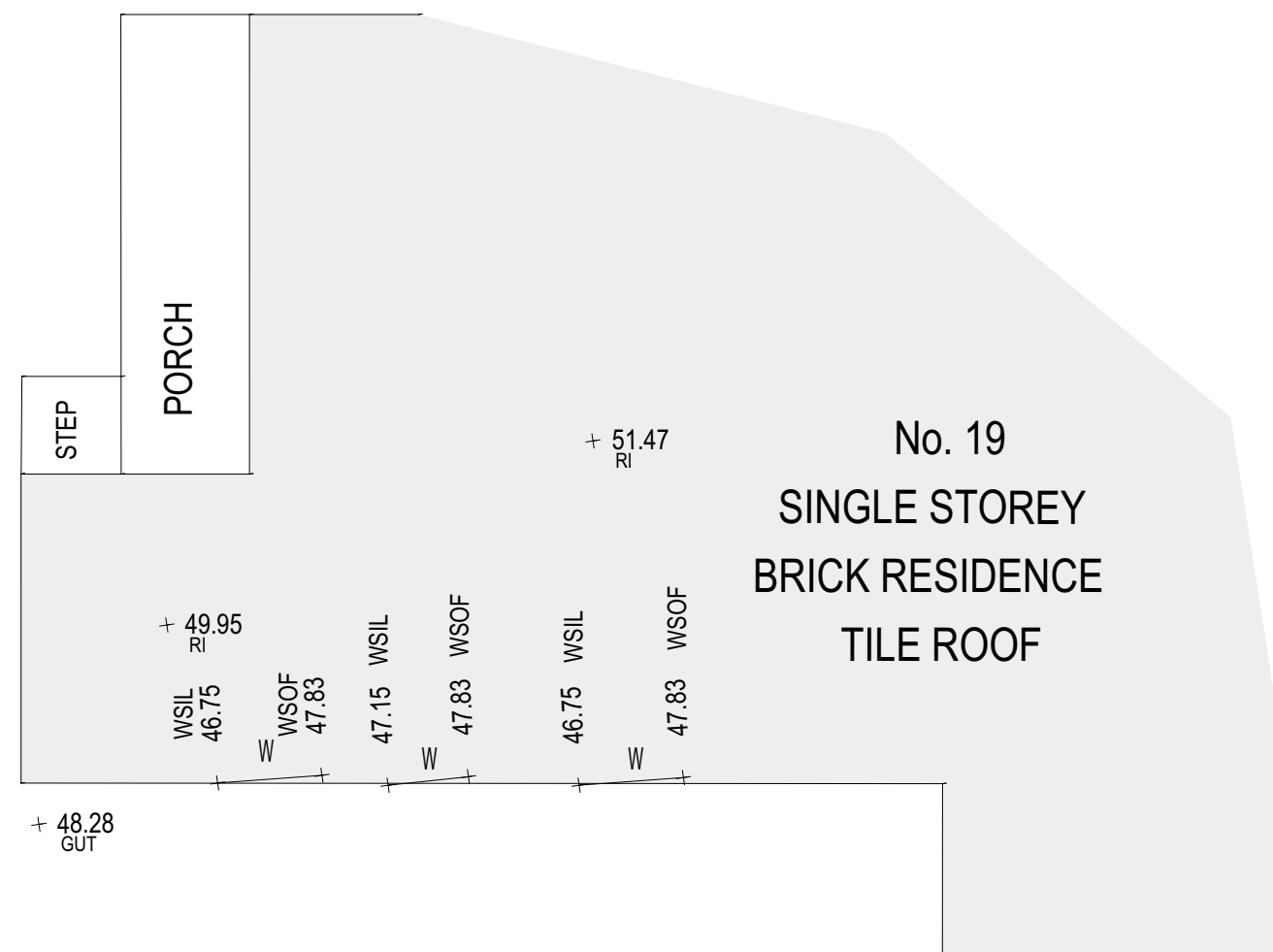
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LOT 7
DP 10501

TREE TO BE REMOVED

TREE TO BE REMOVED

STREET

EDGAR